

Community Development Department

1555 South 800 West Woods Cross, Utah 84087

Phone: 801-292-4421 Fax: 801-292-2225

DETACHED STRUCTURES

A detached garage, shed, pole barn, or similar structure that is larger than 200 square feet, requires a building permit and all required inspections.

If the detached structure is 200 square feet or less, but you are adding electrical, mechanical or plumbing, you are required to obtain an electrical, mechanical, plumbing permit and schedule inspections.

Please be aware that dumpsters and other construction materials must not create an obstruction to the public.

Requirements for submitting a permit application for a detached garage / shed / pole barn or similar structure.

1. Permit application form
2. Site Plan (see example attached).
3. Construction Plans including:
 - a. Floor plan including outlets, lights, switches and dimensions for floor area, windows and doors
 - b. Elevation plan showing each side of structure including windows, doors, etc. and the measurement of height from the lowest part of the ground to the peak of the roof
 - c. Section drawings showing information for roof, trusses, walls and footings
 - d. If the structure is being built closer than **5 feet** to a property line, then fire-resistive construction is required on the wall parallel to that property line. A notation must be made on the site plan, and details must be shown on construction drawings (see [sample Fire-Resistive diagram](#) attached).
4. If the proposed structure is larger than 800 square feet, stamped engineering from a Utah licensed Structural Engineer is required as part of the submitted plans.
5. Comply with all Zoning Department requirements regarding setbacks from property lines, height of structure, maximum size of structure and public utility easements). For any questions regarding these items, contact the Community Development Department at (801)292-4421.

Permit Fees are based on the square footage being finished but are not charged until all plan reviews are completed and approved. You can call the Building Department at (801)292-4421 for an estimate of your permit cost. Permit fees pay for reviews in the office as well as all inspections which will need to be done at the property.

Submit signed application and plans to the Building Department by email at permits@woodscross.com. If your plans are too large to email, please provide a shareable link where we can download your plans, such as Dropbox, Google Drive or other online service.

Plan review will take approximately 14-21 days, after which we may call with corrections that need to be made to your plans. After the plans have been approved, we will email an invoice with permit fees. Payments for permits may be made by phone, (801)292-4421, with an electronic check or credit card (AMEX not accepted).

Detached Garages/Sheds/Pole Barns or Similar Structures typically require three inspections, but may require others as needed. Call Forsgren Associates at 801-364-1465, at least 24 hours ahead of time to schedule inspections. Be sure to keep the plans, permit and inspection reports with your house records.

ZONING REQUIREMENTS

Setback and Building Height Requirements

- (A) Lot Size: 8,000 square feet.
- (B) Lot Frontage: 70 feet.
- (C) Front Yard: 25 feet.
- (D) Rear Yard: 25 feet.
- (E) Side Yard: 8 feet one side and total of 18 feet for both sides; main buildings only.
- (F) Side Yard Corner: 20 feet for all buildings on the side adjacent to the street.
- (G) Accessory Building: Accessory Buildings shall be 3 feet or more in the rear of the main building and at least 1foot form all property lines; and shall be 15 feet from dwellings on adjacent lots. Accessory buildings shall not be built over utility easements that may run alongside and rear property lines. In no case may accessory buildings or structures cover more than thirty percent (30%) of the rear yard.

12-6-105 Maximum Building Height

- (A) Main Buildings shall not exceed two stories with a maximum height of 35 feet.
- (B) Accessory Buildings shall not exceed the height of the main building and in no event shall accessory buildings exceed the height of 25 feet.

Typical Site Plan

(Label the street the house faces)

Main Building /Addition Setbacks

- ▶ Front Yard—25 feet
- ▶ Rear Yard—25 feet
- ▶ Side Yard—8 feet one side with total of 18 feet for both sides
- ▶ Corner Lot Side Yard —20 feet for all buildings on the side adjacent to the street.

Accessory Buildings Required Setbacks

Accessory Buildings shall be:

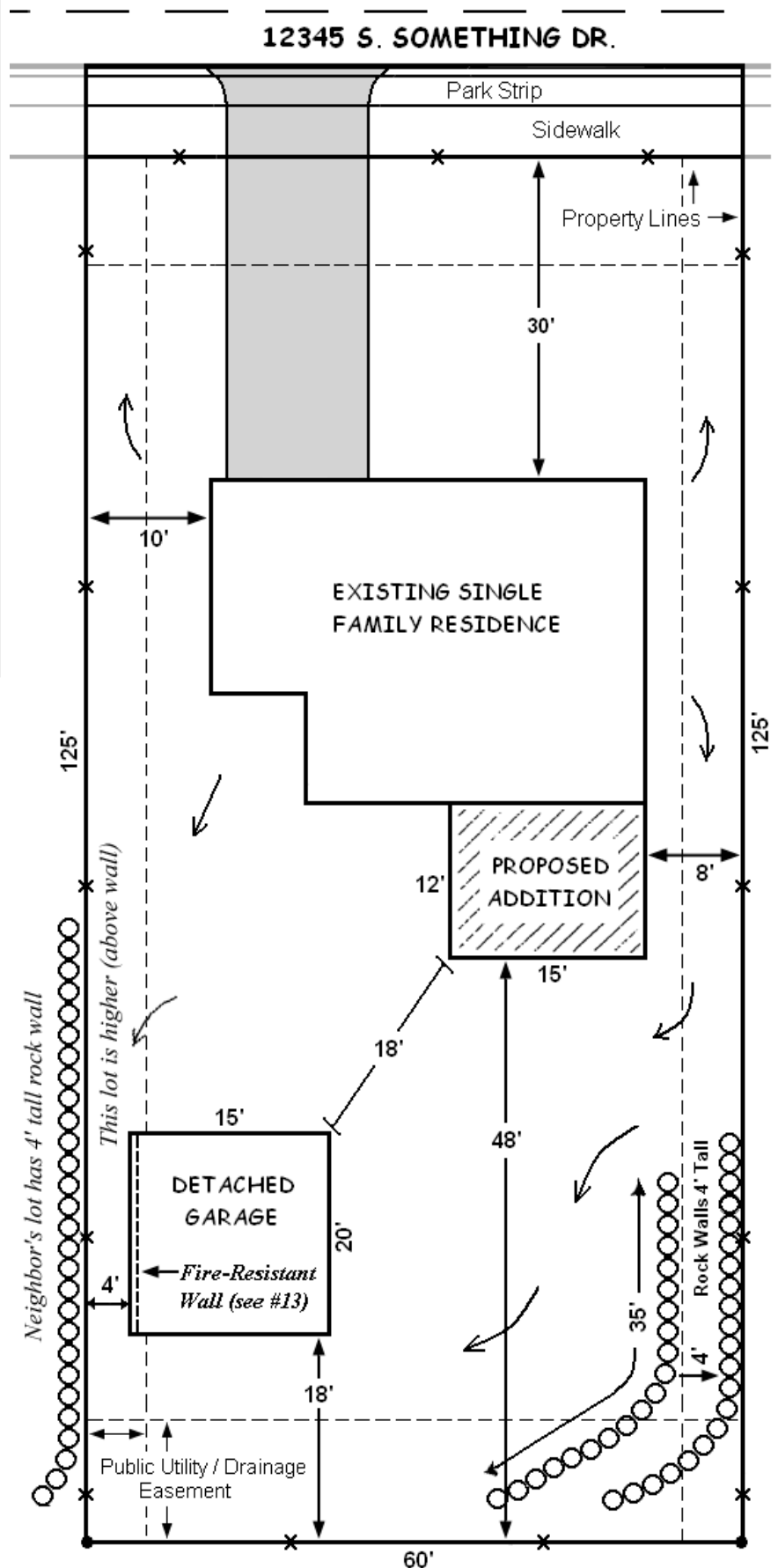
- ▶ 3 feet or more in the rear of the main building.
- ▶ 1 foot from all property lines.
- ▶ 15 feet from dwellings on adjacent lots.

Accessory buildings shall not:

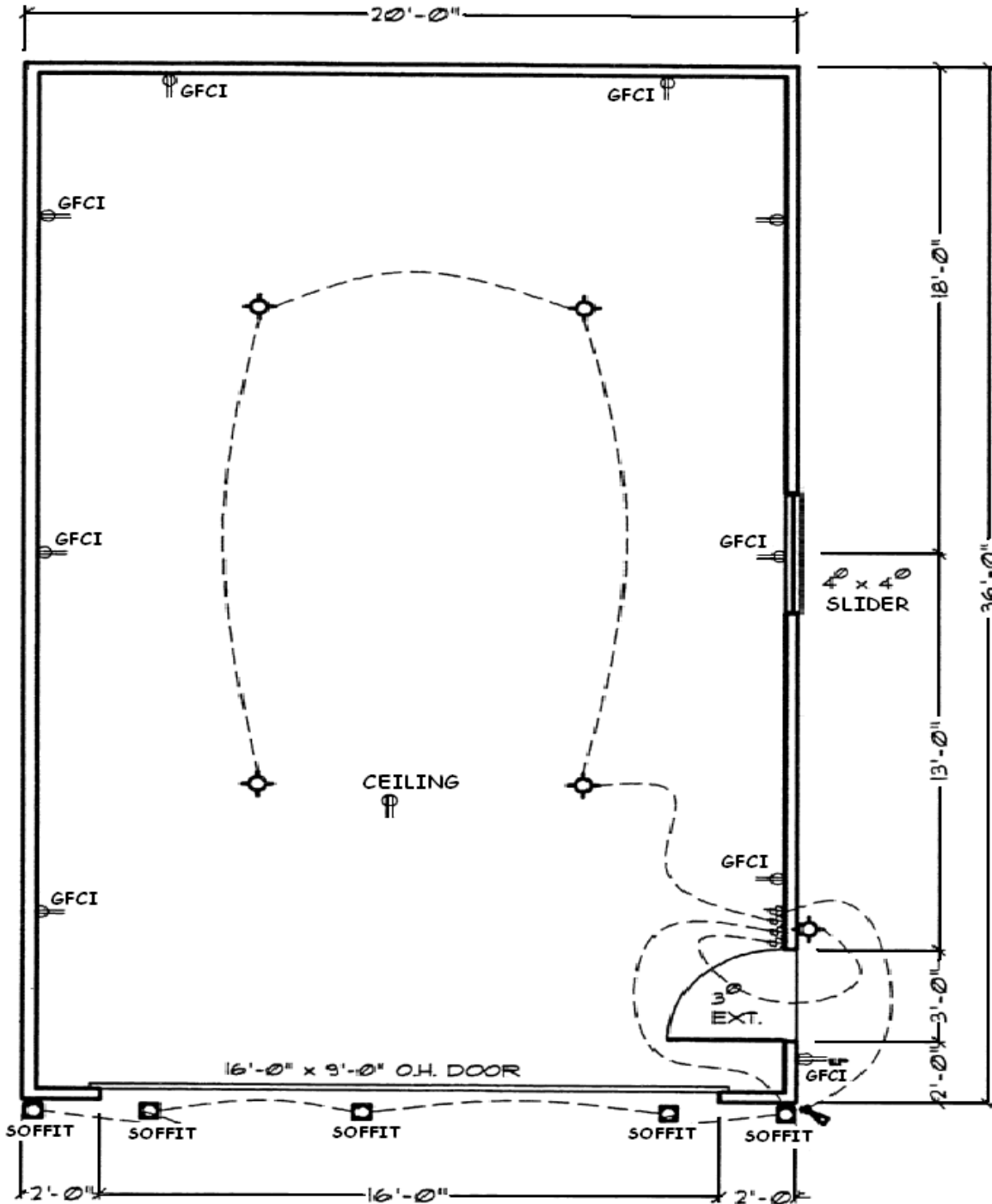
- ▶ Be built over utility easements that may run along side and rear property lines.
- ▶ Cover more than thirty percent (30%) of the rear yard.

CHECK LIST

- ▶ Show dimensions of the property.
- ▶ Put address of home on the street the house faces.
- ▶ Show names of bordering streets.
- ▶ Include north arrow.
- ▶ Show dimensions of rear yard.
- ▶ Show location and dimensions of all existing and proposed buildings, structures and parking areas.
- ▶ Identify the use of all existing and proposed structures including the number of stories.
- ▶ Show distance between buildings, and distances from buildings and structures to property lines.
- ▶ Show height of main building
- ▶ Show height of accessory building from ground to peak of roof.
- ▶ Show and identify easements.
- ▶ Show all architectural projections including stairs, balconies, porch covers, decks, etc.
- ▶ If a structure is closer than 5 feet to the property line, then fire-resistive construction is required. Show a notation on the site plan and details on the construction drawings.
- ▶ Show drainage plan using arrows.



SAMPLE DETACHED GARAGE FLOOR PLAN DIAGRAM



If the structure is being built closer than 5 feet to the property line, then fire-resistive construction is required on the wall parallel to that property line. The total square footage of all openings in that wall cannot equal more than 25% of that wall space (i.e. doors, windows, vents, etc). Include details on how fire-resistive construction will be achieved.

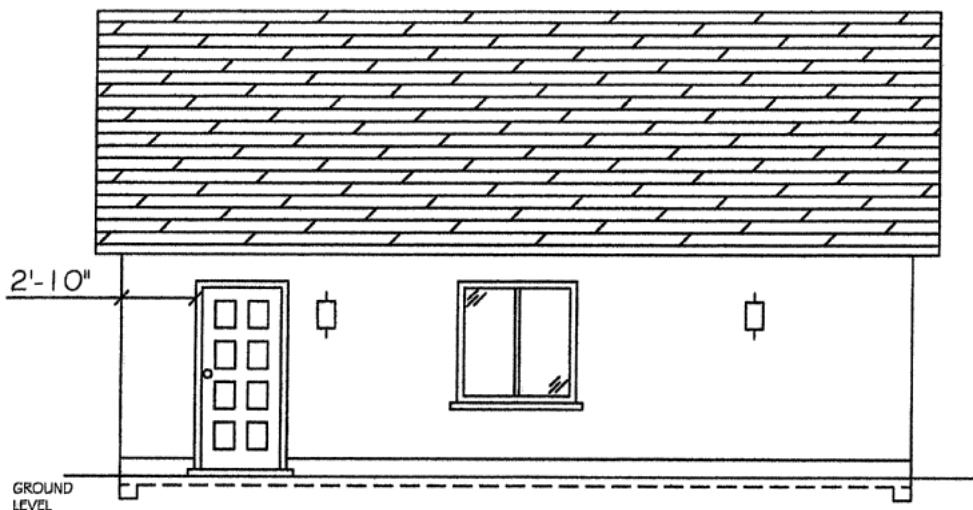
LEGEND

- ◆ LIGHT FIXTURE
- CAN LIGHT FIXTURE
- ⊖ 110 VOLT / OUTLETS
- ⊖₁₂₀ 220 VOLT / OUTLETS
- ⊖ W WEATHERPROOF OUTLETS
- ⚡ SINGLE SWITCH
- ☛ FLOOD LIGHT

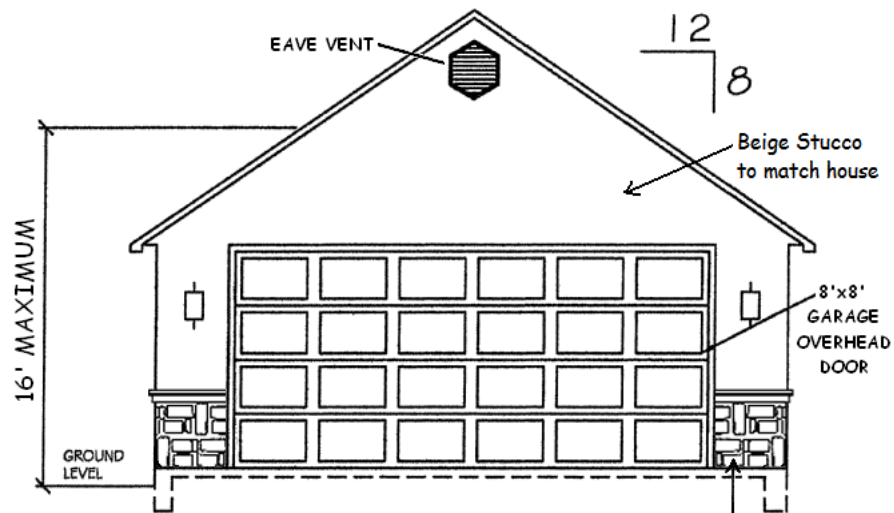
GARAGE AREA
720 SQ. FT.

This is a sample diagram and is for informational purposes only. It may not accurately represent or reflect all currently approved or required code items.

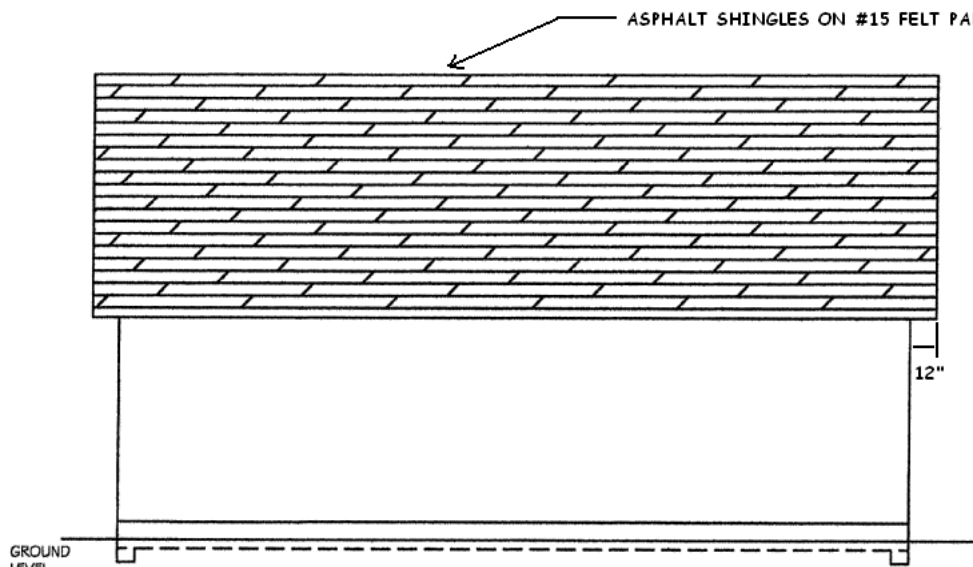
SAMPLE DETACHED GARAGE ELEVATION DIAGRAM



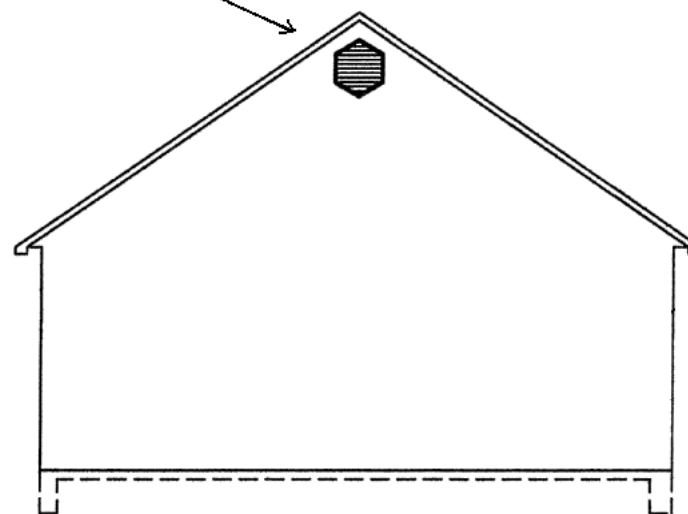
RIGHT ELEVATION



FRONT ELEVATION



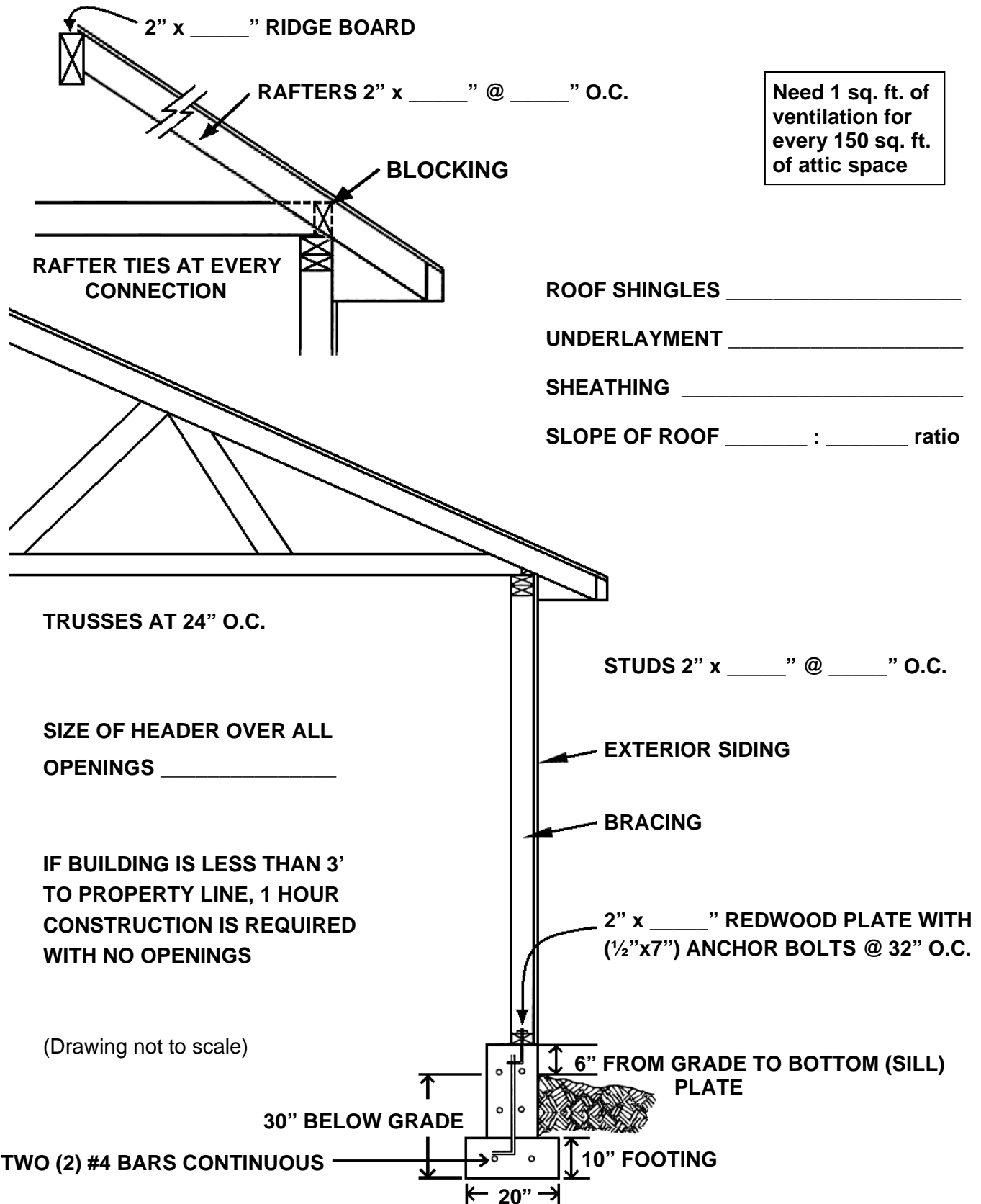
LEFT ELEVATION



REAR ELEVATION

TYPICAL DETACHED GARAGE - SECTION DIAGRAM

600 square feet or less of light framed construction with an eave height of 10' or less



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TYPICAL FIRE-RESISTIVE CONSTRUCTION REQUIREMENTS & DIAGRAM

If a structure is being built closer than 5 feet to a property line, fire-resistive construction is required on the wall parallel to that property line. Total square footage of all openings in the wall cannot equal more than 25% of that wall space (i.e. doors, windows, vents, etc.).

If the structure is closer than 3 feet to the property line, then no openings are allowed in the wall parallel to that property line.

Construction plans submitted for structures with a fire-resistant wall must include:

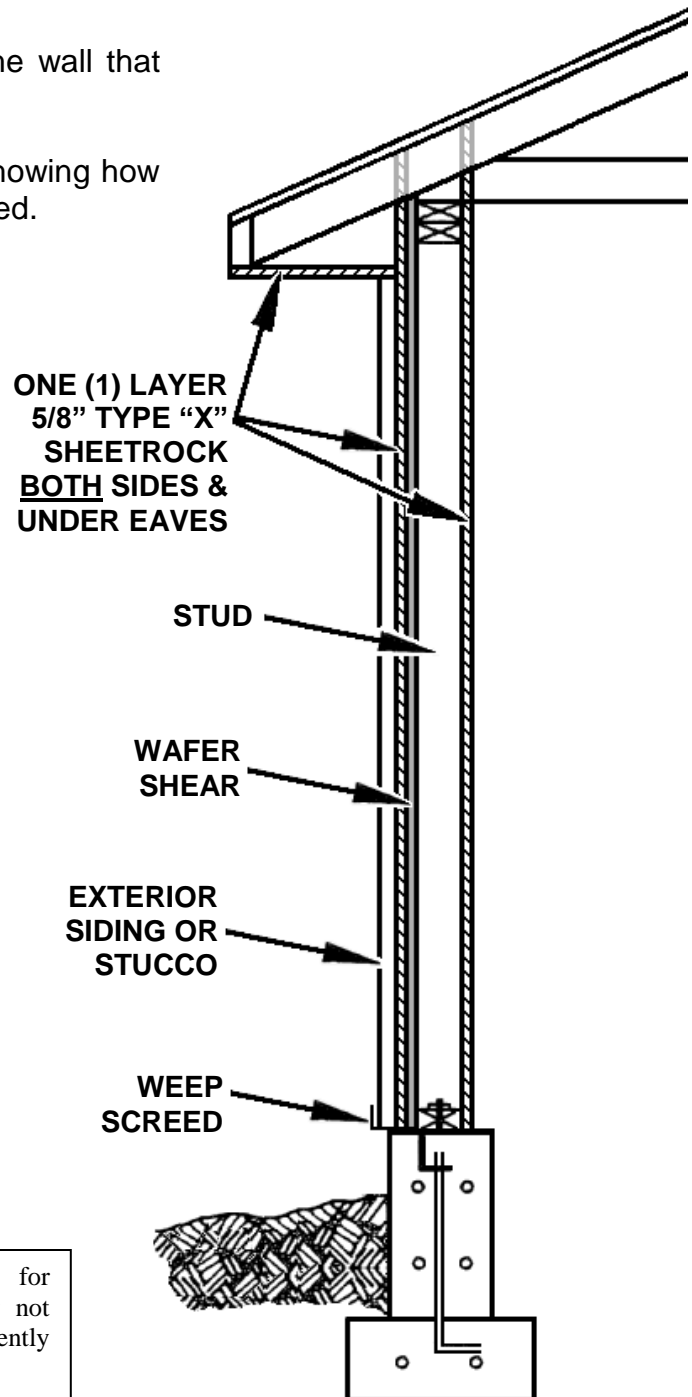
1. A notation on the site plan showing the wall that will have fire-resistive construction.
2. Details on the construction drawings showing how fire-resistive construction will be achieved.

Types of approved fire-resistive construction:

1. Block wall.
2. Brick on the outside, one (1) layer of 5/8" type "X" sheetrock on the inside to the roof deck and underneath side of eaves.
3. One (1) layer of 5/8" type "X" sheet-rock on the inside to the roof deck and outside of wall over wafer shear and underneath side of eaves.

Note: This will prevent the installation of attic vents in soffits on the wall with fire-resistive construction. Please plan accordingly.

An inspection is required before fire-resistive construction can be covered.



rev. 1/20

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TYPICAL REQUIRED INSPECTIONS FOR RESIDENTIAL DETACHED GARAGES/SHEDS*

To schedule an inspection, call (801) 364-1465 at least one working day in advance before 4:00 p.m.

1st Inspection
Footing

Mono-pour

Footing - which may include:

Footings excavated and formed with reinforcement secured prior to concrete pour
Footing & foundation formed together with reinforcement secured prior to concrete pour

2nd Inspection
Foundation

Foundation - which may include:

Forms in place, reinforcement properly tied and secured to concrete pour

3rd Inspection

Rough Framing

Rough 4 Way Inspection - which may include:

After framing, fireblocking, all bracing including truss bracing, rough electrical, mechanical, plumbing, heating and shear nailing

Rough Electrical
Rough Mechanical

Boxes, wiring, panels, grounding in place
Furnace, fans, flues, vents, factory-made fireplaces with manufacturer's standards available

Rough Plumbing

Supply and waste piping and venting in place

4th Inspection
Flashing/
Weather Barrier

Weather Barrier

Weather barriers for all applications including stucco, rock, brick, Hardie or LP siding

5th Inspection
Final Building

Final Inspection - which may include:

When all work is complete, except for cosmetic items (floor covering, paint, etc. – although most people paint since light fixtures, etc. must be in place)

Final Electrical
Final Mechanical
Final Plumbing

All electrical work completed
All mechanical work completed
All plumbing work completed

Other

Other possible inspections that may be required:

Subrough Plumbing

Test and inspection of underground plumbing. Either 10' of water or 5 psi for 15 min. is required for test.

Gas Line
Shear Nailing

Pressure test of 5 psi for 15 min.

Exterior shear nailing – if covering outside prior to rough 4-way inspection