

**WOODS CROSS REDEVELOPMENT AGENCY
FARM MEADOWS SUBSIDENCE
FINANCIAL ASSISTANCE APPLICATION
(FY 2024)**

The Woods Cross Redevelopment Agency (RDA) has limited funds that are likely to assist 1-3 homes over the next 12-24 months. Successful applicants will be those with the most severe damage and with the ability to provide the matching funding for non-income targeted projects. If Income Targeted Project funds (see description below) become available, income will also be a deciding factor on selecting which applicant(s) will be assisted. This is not an electronic fillable form at this time. Please print and fill out on paper.

1. GENERAL INFORMATION

Homeowner Name: _____

Address: _____

Phone Number: _____ Email: _____

Application Date: _____ What year did you move to this address: _____

2. BUILDING INFORMATION

a. Year the home was constructed: _____ b. Do you have the building plans for the home? Y/N

c. Year you purchased your home _____

d. Construction Type (circle): stick frame modular

e. Foundation Depth (circle): basement crawl space slab on grade

f. Building Footprint (square foot of building area including garage): _____

3. SETTLING ISSUES

Please include a measurement in inches to closest 1/8" and year they were first noticed (See Subsidence Methods and Descriptions Attachment below).

a. Foundation (maximum elevation difference): _____;
Measured by (By Whom, what type of instrument): _____

b. Basement (concrete) floor out of level (vertical drop in 4' horizontal): _____; year first noticed: _____

c. Wood floor (1st or 2nd floor) out of level (vertical drop in 4' horizontal): _____; year first noticed: _____

d. Walls out of plumb (Horizontal separation in 4' vertical): _____; year first noticed: _____

e. Number of cracks in walls (# cracks greater than 1/8"); _____; year first noticed: _____; maximum crack width: _____

f. Number of cracks in ceiling (# cracks greater than 1/8"); _____; year first noticed: _____; maximum crack width: _____

g. Number of doors and windows that do not close properly: _____; year first noticed: _____

Date Received By City Staff: _____

h. Damage to home electrical, plumbing or mechanical systems (including the service connection to the home by the utility company/city). Describe:

i. Have trusses, floor joists or wall studs broken or separated? Describe and attach pictures:

j. Exterior porches and slabs settling away from home(inches);____; year first noticed: _____

k. Are you aware of issues with any of the following utility laterals, e.g., damaged or out of service (sewer, water, gas, power, communication, AC): Describe:

l. Shingles, brick/stone, siding, stucco cracked or separated from the home: _____; year first noticed: _____; maximum crack width: _____.

m. Attach pictures and documents as needed to verify damage and measurements above.

4. Bids and Funding

n. Have you received quotes or bids for the foundation repair? Name of contractor:

_____, Date of bid or quote: _____.

o. If you do not qualify for an income targeted project (see below), do you have the financial ability to contribute to the foundation repair and make necessary repairs after the foundation and building rehabilitation? Yes No

Date Received By City Staff: _____

5. FINANCIAL INFORMATION

Separate funding may be available for income targeted projects. Individuals with household incomes equal to or less than 80% of the Davis County median income would be eligible for this funding if it becomes available. To qualify for this funding, proof of income needs to be submitted to the RDA Agency for review. Proof of income is typically the two most recent income tax returns of the applicant.

The chart below lists the 80% of median income values by household size. Review the chart to see if you would be eligible for this funding.

Davis County 80% of Median Income Values							
1 person	2 people	3 people	4 people	5 people	6 people	7 people	8 people
\$56,300	\$64,350	\$72,400	\$80,400	\$86,850	\$93,300	\$99,700	\$106,150

I qualify for income targeted project funding and would like to be considered if funds become available.

Yes No

If funding for income targeted projects become available, those who mark yes will be contacted to provide further information.

6. APPLICATION SUBMITTAL

Applications can be delivered to City Hall (1555 S 800 W Woods Cross, UT 84087) or e-mailed to Bryce Haderlie, City Administrator at bhaderlie@woodscross.com. The application deadline is 5:00 PM on Thursday, July 27, 2023. After the initial review of submitted applications, those homes determined to have the most damage will be selected to continue through the application process. Site visits will be made to inspect the damage and take measurements. Data from these site visits will be utilized to make the final determination of those applicants that may be funded starting during the fiscal year that runs from July 1, 2023 to June 30, 2024.

7. ACCEPTANCE

I am willing to work with Woods Cross RDA and their staff/consultants to provide access and information and measurements for this application process. I understand that, depending upon my income and RDA funding availability, I may be requested to provide matching funds to receive funding. I understand that providing false or misleading information in this application will disqualify my application from consideration.

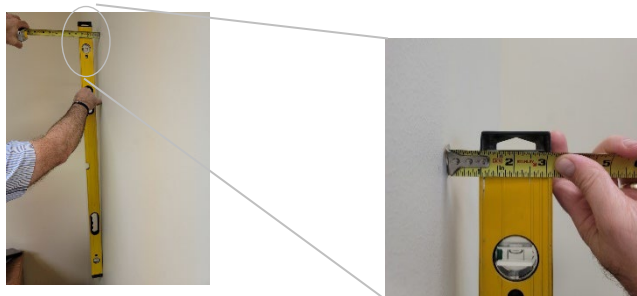
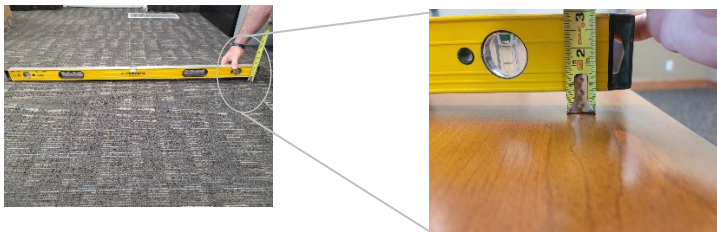
Signature: _____ Date: _____

Date Received By City Staff: _____

Attachment 1 – Subsidence Measurement Methods and Descriptions

This document is intended to describe the types of measurements and data needed in the questions above. Please ensure that measurements are as exact as possible to the closest 1/8". Pictures are also helpful when written descriptions cannot adequately describe the circumstances.

- a- Foundation- This describes the difference in elevation of the foundation from where one area of the home has settled. This is typically measured with a sight level, laser level or other instrument that can determine height variations.
- b & c – Floors out of level – Using a 4' level, what is the measurement from the end of the level to the floor when it is held at level? A digital level can also be used to determine this measurement. Example, if the digital level says 1/4" per foot, multiply this by 4 (4' level) which would be 1 (one) inch. (see picture below)
- d- Walls out of plumb (using the same principle above only with the level in a vertical position. (see picture below)
- e & f – Count any cracks that exceed 1/8" in width and enter that number, provide a measurement of the widest crack in the wall or ceiling surface.
- g- Number of doors that don't open or close correctly or have had to be modified to open and close correctly. This can include hinged doors or sliding doors (not cabinet doors).
- h- This can include any disruption to one of the utilities attached to the home or enter the home. Describe any repairs that have been made or current damage that exists.
- i- Do you have evidence of any broken framing members mentioned in the question? This can include the wooden parts of trusses that have split, truss gussets pulling from the wood, floor joists or studs splitting, etc.
- j. Have porches or decks moved away from the house, settled from the house, etc. Describe in measurements or other method to show movement.
- k. If you have had any problems with the interior electrical, plumbing or mechanical systems, or services coming from the utility company/city describe them here.
- l. Provide information on cracks in brick mortar, stucco, siding, etc. to show how the exterior of the home has been impacted by subsidence.



Date Received By City Staff: _____